

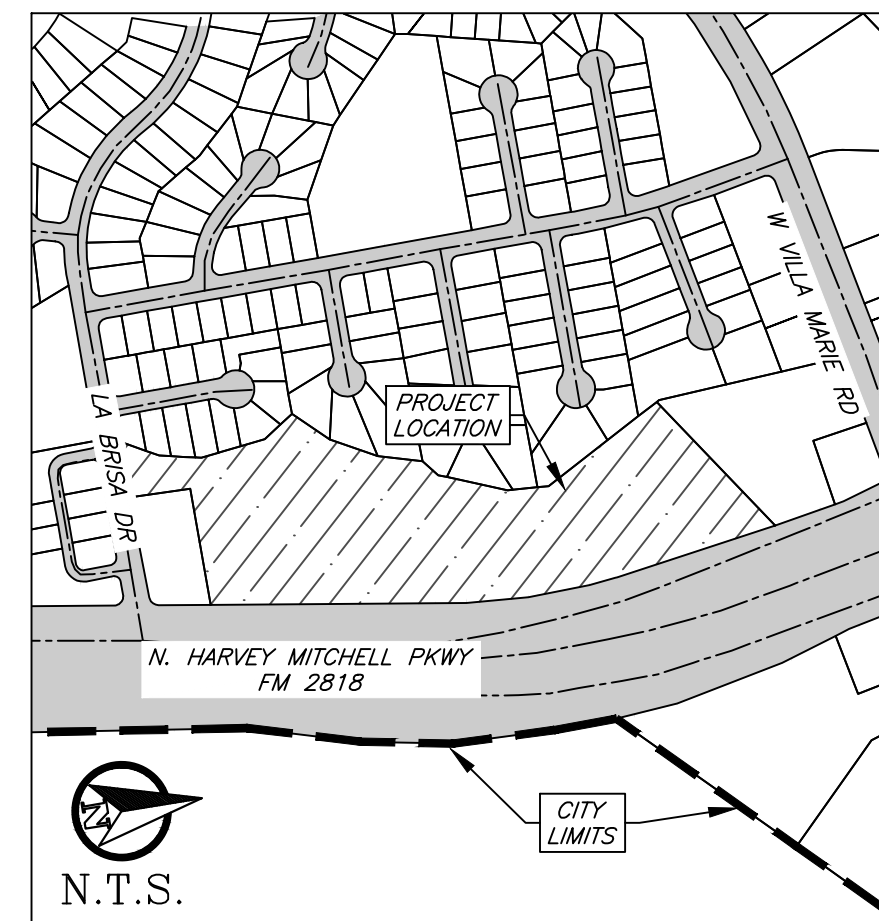
Site Plan For:

Morning Star Storage

425 N. Harvey Mitchell Pkwy

La Brisa Ph. 10, Block 1, Lot 2 - 10.00 AC

Bryan, Brazos County, Texas



VICINITY PLAN
N.T.S.

OWNER/DEVELOPER:

Morning Star Storage

725 Park Center Dr
Matthews NC, 28105

ENGINEER:



Firm # 9951
PO Box 5192
Bryan, Texas 77805
979-739-0567

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SW	BCS Unified Sidewalk Details



Know what's below.
Call before you dig.

**Preliminary Plans Only
Not for Construction**

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97600 on Mar 04, 2025. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

March 2025

General Notes:

- 1. The contractor shall promptly notify the engineer of any discrepancies between these plans and other drawings of differing disciplines & specifications.
2. The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field.
3. Contractor to verify all underground utilities in the field prior to construction.
4. It is the responsibility of the contractor to comply with all state and federal regulations regarding construction activities near energized over head power lines.
5. The contractor shall be responsible for the protection of all existing utilities or service lines that are crossed or exposed during construction operations.
6. During the execution of the work, the contractor shall maintain the project site in an orderly and acceptable manner as far as practical.
7. Contractor is responsible for OSHA established trench safety as described in the Federal Register 29 CFR Part 1926.
8. A copy of the approved construction plans shall be kept on site at all times throughout the entire construction of the project.
9. The contractor shall be responsible for safeguarding and protections all material and equipment stored on the jobsite.
10. Contractor to store materials at location(s) approved by & coordinated with the owner.
11. Contractor shall saw cut, remove, and replace pavement, and curb & gutter as required to construct proposed improvements.
12. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
13. Any adjacent property and right-of-way disturbed during construction will be returned to their existing condition or better.
14. All exposed dirt surfaces shall be seeded, hydro-mulched, or sodded.
15. The contractor shall not create a dirt nuisance or safety hazard in any street or driveway.
16. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
17. The contractor shall coordinate all fence removal and replacement with the Owner.
18. The contractor shall protect all monuments, iron pins, and property corners during construction.
19. The contractor must provide construction staking from the information provided on the plans.

General Utility Note (Private & Public):

- 1. All excavation for underground utilities shall be made true to grade. Excavation shall be made a minimum of six inches below the required grade and provide a sand bed for the piping.
2. Minimum bury or cover specified is to be measured from finish grades.
3. Utility installations in non-structural areas shall be bedded and initial backfill consistent with non-structural requirements.
4. Regardless of elevations shown for manhole rims, clean-out covers, or grates, these items shall be placed flush with the pavement elevations and slopes.
5. Contractor shall uncover existing utilities at all "points of interest" to determine if conflicts exist before commencing and construction.
6. The contractor shall coordinate all utility installation so that grade critical elements (i.e. storm drain, sanitary sewer, etc.) do not conflict with non-grade critical elements (i.e. electrical conduit, water services, etc.).
7. The contractor shall furnish all materials, equipment, and labor for excavation, boring, installation, and backfilling of utility lines and relates appurtenances, as shown on the plans.
8. The loading and unloading of all pipe and other accessories shall be in accordance with the manufacturer's recommended practices and shall, at all times, be performed with care to avoid any damage to the material.
9. Contractor shall be responsible for coordinating all connections to public systems and installations with regulatory inspector.
10. This project shall be built by means of open cut except as noted on the drawings.
11. Structural backfill will be required for all excavation within 5 feet of public roadway pavements or walks.

Private Utility Notes:

- 1. The contractor shall install the proposed private utility lines in accordance with local codes, latest national plumbing code, and all applicable state and local laws.
2. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
3. The contractor shall coordinate all installations of service lines, conduits, meters, etc., with the appropriate utility company.

Water Line Notes (Public & Private):

- 1. All private domestic water line pipe shall be constructed out of PVC (Sch 40).
2. All 6 inch to 18 inch storm sewer pipe, except as noted, shall be HDPE.
3. Contractor shall provide a minimum of 12 inch clearance at storm sewer and water line crossings and a minimum of 6 inch clearance at storm sewer and sanitary sewer crossings.
4. Unless otherwise specified, the contractor shall install all storm sewer pipe in accordance with the trench detail contained in these construction drawings.
5. All private storm sewers shall be inspected & approved by the building official.

Demolition & Construction Notes:

- 1. Demolition of existing structures and improvements shall include all work contained on these plans, but shall not be limited to the items specially identified.
2. It shall be the responsibility of the contractor to stage and sequence all demolition work with utility companies to provide minimal interruption and inconvenience of utility services.
3. Demolished surplus material shall be legally disposed of off-site.
4. All pavement edges, bounding the construction area & matching with new construction, shall be neatly saw cut, unless gravel.
5. The contractor shall field verify and locate all existing utilities on site prior to demolition.
6. The contractor shall perform demolition activities as noted and shown on these plans and as directed by the owner/ developer.
7. It shall be the responsibility of the contractor to obtain any permits and pay any fees required for demolition and disposal from the appropriate authorities.
8. The contractor shall install all erosion and sediment control devices prior to commencing demolition work.
9. The contractor is responsible for the protection of all utilities that are to remain in place.
10. The contractor shall take all precautions to avoid damage to any existing road surface.
11. All existing items that are to remain in place which are damaged during construction shall be restored to original condition, or better, at the sole expense of the contractor.
12. Should any existing utilities not shown or shown incorrectly on this plan be found on site, the contractor shall contact the engineer immediately to discuss any possible conflicts before proceeding with any work in that area.
13. An asbestos survey must be performed prior to the demolishing of any structures.

Dimensional Control Notes:

- 1. The contractor may obtain an electronic copy of these plans for construction purposes.
2. All dimensions shown are to be verified in conjunction with these plans for locating all improvements and shall be field verified by the contractor for workability prior to construction of improvements.
3. Unless otherwise shown, all dimensioning is to the back of curb or edge of pavement, which ever is applicable.

Grading Notes:

- 1. All unpaved areas shall be adequately graded to drain at a minimum of 1.00% slope, unless otherwise noted, so that no ponding occurs.
2. Unless otherwise specified, unpaved areas shall drain away from buildings so that the perimeter curb is a minimum 6" lower than the finished floor.
3. Finish grade adjacent to curbing or sidewalk shall be 1/2" below the top of concrete and 2" below in landscaping areas.
4. When top of curb elevations are shown, the curb height is 6" unless otherwise specified.
5. The contractor shall follow the general intent of the grading plans.
6. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
7. The approval of these plans is not an authorization to grade adjacent properties.

Erosion Control Notes:

- 1. Erosion control measures shown in these plans shall be considered the very minimum required.
2. The site operator, or his representative established by a letter of delegation, shall make a visual inspection of all siltation controls and newly stabilized areas on a daily basis; especially after a rainfall to insure that all controls are maintained and properly functioning.
3. All sediment trapping devices shall be installed as soon as practical after the area has been disturbed.
4. During construction, contractor shall maintain Best Management Practice (BMP). Sediment fence, hay bale barriers, or other devices shall control all storm water leaving the site.

- 5. The contractor shall be responsible for establishing temporary erosion control measures as required for different phases of construction.
6. Phase II erosion control measure measures shall be implemented immediately after construction of their associated improvements.
7. The contractor is responsible for removing sediment control devices after the site has been seeded and/ or sodded, and ground cover has taken root.
8. The contractor shall take all necessary measures to ensure that all disturbed areas are stabilized.
9. When hydro-mulching is required, contractor shall keep mulch moist after installation and until area shows growth.
10. Erosion control measures shall be implemented prior to any excavation or demolition work.

Sidewalk Construction

- 1. Sidewalks shall be doweled into and tie to any concrete structure adjacent to sidewalk (driveway, inlet box, curb) #4 x 12" bars @ 18" O.C.
2. ADA ramps shall be constructed per the ambulatory ramp details on the pavement plan shown in these plans.

Paving Notes:

- 1. The pavement system shown was designed without the aid of a geotechnical investigation.
2. Sub-grade
a. Existing trees, stumps, and large tree systems, shall be grubbed and removed.
b. Paving areas shall be proof-rolled with a 20 ton roller and, if required at the time of construction, the contractor shall stabilize weak areas by over excavation and backfilling.
c. Materials excavated on site, excluding the top 6 inches, may be used as fill material, under pavement areas only, if the material is free from trash, lumps, clods, organic substance, & other foreign matter.
d. Fill material shall be placed in eight inch maximum loose lifts, with each lift wetted or dried to a moisture content range of 0% to +3% of the optimum moisture content and compacted to a uniform density of 95% for non-structural and 98% for structural areas, of the maximum dry density as determined by ASTM D698.
e. Compaction test, for fill, shall be verified by in-place density test for each lift.
3. Asphalt
a. All asphalt paving shall be hot-mix asphalt cement (HMAC), Type D P64-22, in accordance with TxDOT Item #340, unless otherwise specified.
b. No more than 20% RAP shall be used with HMAC mix design.
c. Limestone base shall be prime coating with RC-250, MC-30, CRS-1P/2P, or approved equal in accordance with TxDOT Item #300 and Item #310.

Portland Cement Concrete

- a. All concrete, unless otherwise specified, shall have a minimum compressive strength of 3,500 psi at 28 days for pavement and 3,000 psi at 28 days for non-pavement applications (ie. sidewalks, drainage flumes, and containment structures).
b. All concrete shall be vibrated when placed and not raked a distance greater than 10 feet.
c. Unless otherwise noted, joint spacing shall not exceed 15 feet in any direction to another joint or edge of pavement.
d. Expansion joints shall not exceed a maximum spacing of 45 feet and should not be placed through the middle of concrete inlets or junction boxes located in the pavement.
e. All joints shall be sealed with Sonoborn Sonolastic SL-1, or an approved equal.
f. Concrete shall not be placed if the air temperature is 50° F and falling or 95° F or higher.
4. Steel
a. All reinforcing steel shall be deformed billed steel bar having a minimum yield strength of not less than 60 KSI conforming to ASTM A6115, Grade 60.
b. All reinforcing steel shall be free from rust or other bond reducing agents.
c. All splices in pavement and curbing steel shall be staggered and lapped 30 times the bar diameter or 12 inches, whichever is greater.
d. Concrete coverage for the reinforcing steel shall comply with the ACI code, latest edition.

Gas Company Notes:

- 1. At all underground gas utility crossings, the contractor shall give the appropriate utility company a minimum of 72 hours notice so that their field representative may be present.
2. Eighteen (18) inch clearance shall be maintained between the proposed utility and the existing underground gas line.
3. For excavation near the underground gas line(s), the contractor shall cover, or remove, the bucket teeth of the excavator.

Traffic Control Notes:

- 1. Contractor shall provide and install traffic control devices in conformance with part VI of the Texas Manual on Uniform Traffic Control Devices (Texas MUTCD, most recent edition with revisions) during construction.
2. Lane closure will not be allowed unless approved by the TxDOT or COB representative, as applicable.
3. The work shall be completed such that the roadway will be fully opened to traffic overnight.
4. Plastic drums shall be used for overnight delineation of off roadway work areas.

Legend
Line Types
W-8 Existing Water Line, Size Noted
W-8 Proposed Water Line, Size Noted
W Existing Water Service
W Proposed Water Service
S-8 Existing Sanitary Sewer Line, Size Noted
S-8 Proposed Sanitary Sewer Line, Size Noted
S Existing Sanitary Sewer Service
S Proposed Sanitary Sewer Service
Existing Storm Sewer Piping
Proposed Storm Sewer Piping
GAS Existing Natural Gas Line
GAS Proposed Natural Gas Line
UE Existing Underground Electrical Line
UE Proposed Underground Electrical Line
AE Existing Aerial Electrical Line
AE Proposed Aerial Electrical Line
T Existing Underground Telephone
T Proposed Underground Telephone
Existing Contour, Elevation Noted
Proposed Contour, Elevation Noted
Existing Easement
SILT Silt Fence
Existing Chain Link Fence
Proposed Chain Link Fence
Existing Wire Fence
Existing Board Fence
Proposed Board Fence
Symbols
Hydrant, Water Valve, Water Manhole, Water Meter, Phone Pedestal, Sign, Storm Grate Inlet, S.E.T., Sewer Manhole, Sewer Clean-Out, Mail Box, Power Pole
Abbreviations
TP Top of Pavement, TC Top of Curb, TG Top of Ground, TW Top of Walk, TI Top of Inlet, TR Top of Wall, FL Flow Line, MH Man Hole, Min Minimum, Max Maximum, N.T.S. Not to Scale, PI Point of Inflection, PT Point of Tangency, PC Point of Curvature, Sch Schedule, R.O.W. Right of Way, W/ With, W/OUT With Out, S.E.T. Sloped End Treatment, BM Bench Mark, TBM Temporary Bench Mark, SF Square Yard, LY Linear Foot, CO Clean Out, O.C. On Center, O.C.E.W. On Center Each Way, PSI Pounds per Square Inch, PVC Polyvinyl Chloride, RCP Reinforced Concrete Pipe, PVMT Pavement, H Horizontal, V Vertical

Notes
General Notes:
Preliminary Plans Only
Not for Construction
Released for Review
Firm Name and Address:
J4 Engineering
Project Name and Address:
Morning Star Storage
Date: March 2025, Scale: As Noted, Sheet: C1

J4E Project # 24-066

Brazos MorningStarStorage No 5 - Site Plan.dwg

J4 Engineering 3/4/2025

Site Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- All construction shall be in accordance with the current Bryan Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- It is the intent of these plans to comply with all City of Bryan guidelines, details, & specifications.
- See Sheet C1 - General Notes

Owner/Developer:

Morning Star Storage
725 Park Center Dr
Matthews, NC 28105


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No.	Revision/Issue	Date

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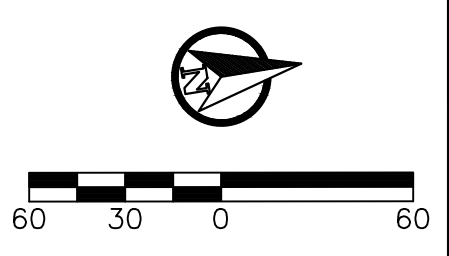
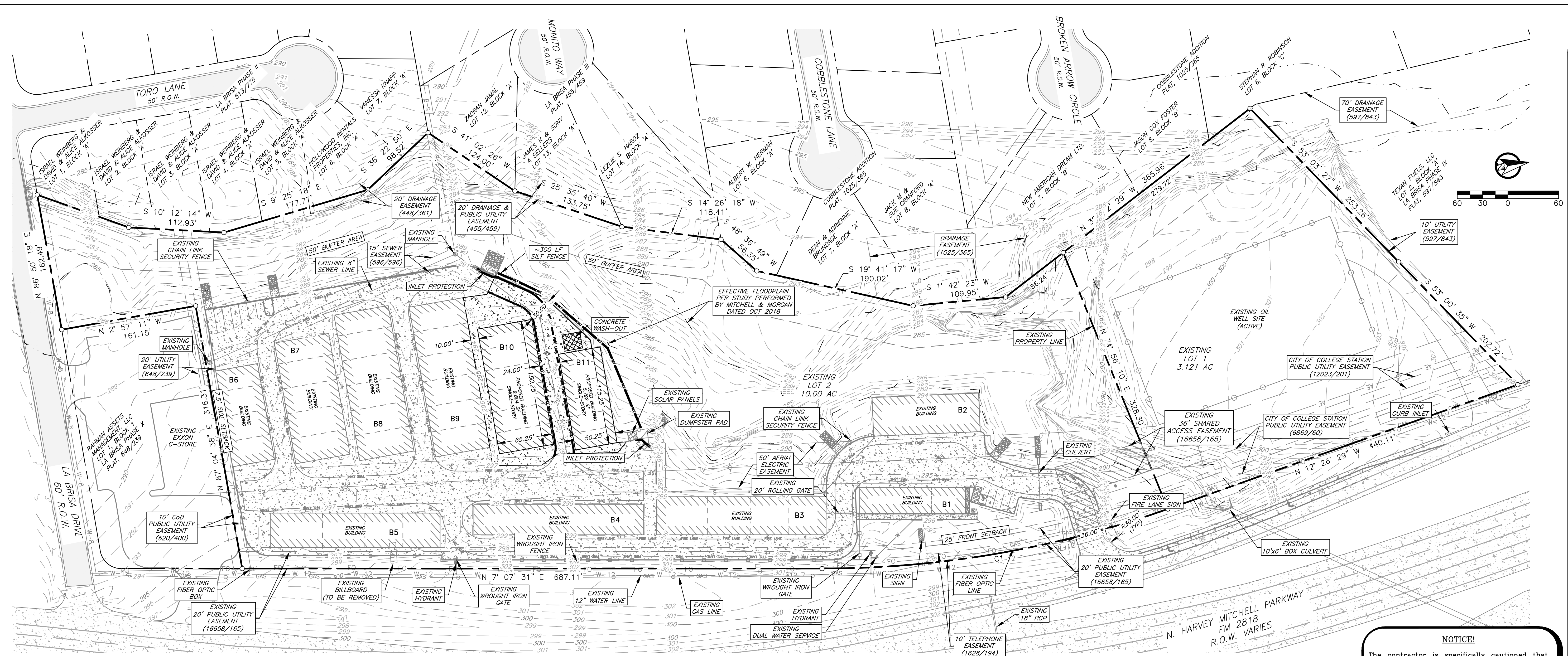
PO Box 5192 - Bryan, Texas - 77805
979-739-0567 www.J4Engineering.com
Firm# 9951

Project Name and Address:

Morning Star Storage

425 N. Harvey Mitchell Pkwy
La Brisa Ph. 10,
Block 1, Lot 2 - 10.00 AC
Bryan, Brazos County, Texas

Date:	March 2025	Sheet:	C2
Scale:	As Noted		



Fire Lane Striping:

All curbs and curb ends shall be painted red with 4" white lettering stating "FIRE LANE-NO PARKING-TOW AWAY ZONE". The phrases should be spaced 15' apart continuously. Fire Lane linework shown on this Site Plan is used to delineate the location of the Fire Lane for permitting purposes and is not intended to show required painted Fire Lane Striping.

■ FIRE LANE ■ NO PARKING ■ TOW AWAY ZONE ■

Note: Fire Lane shall not be painted on Flat work/surface with use of Fire Lane Signage.

NOTICE!

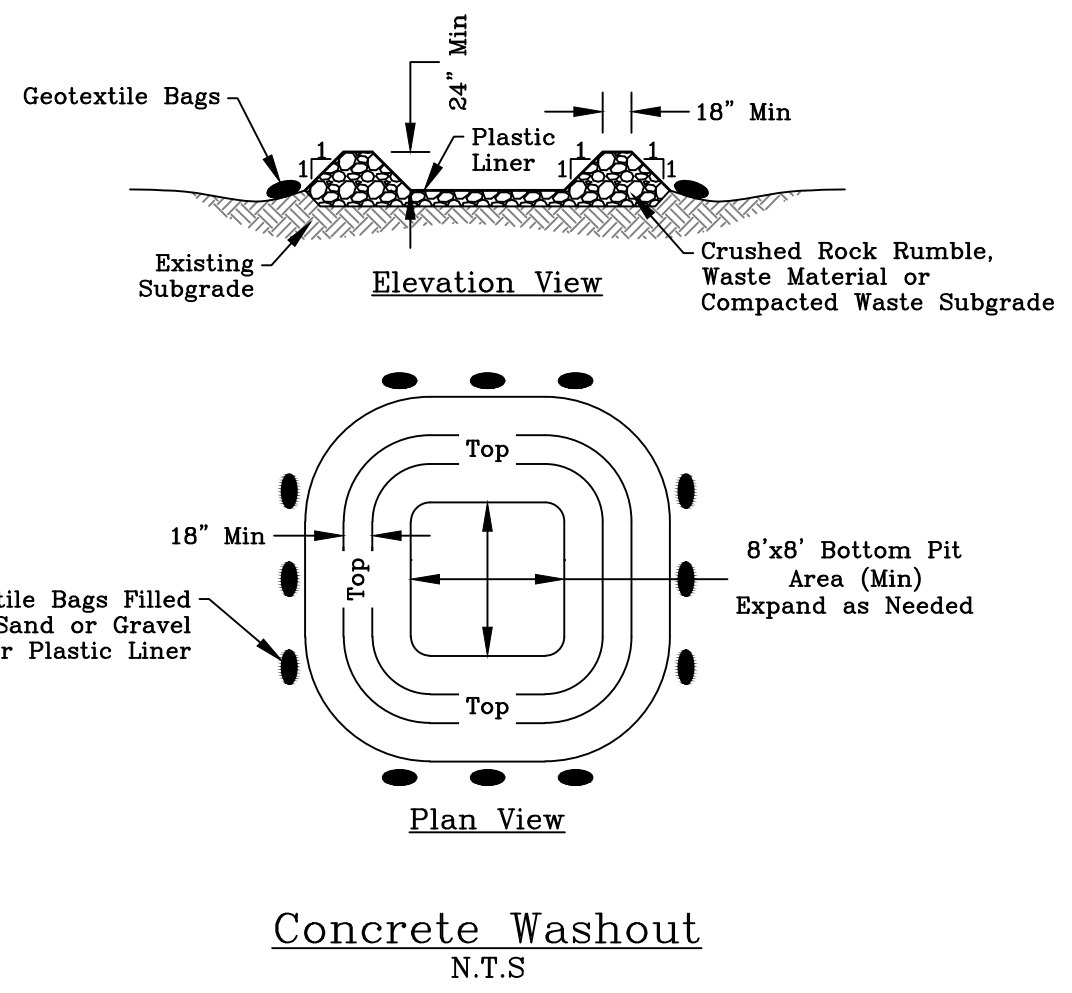
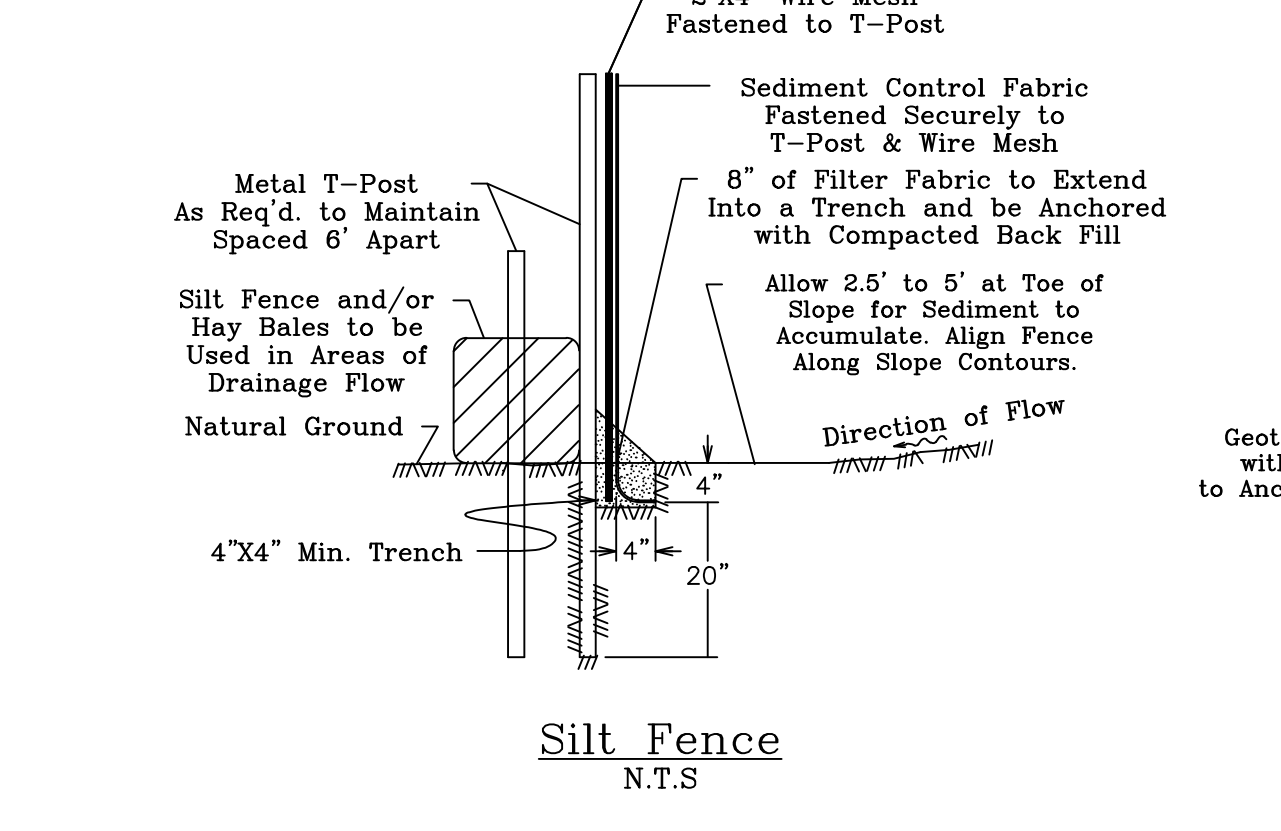
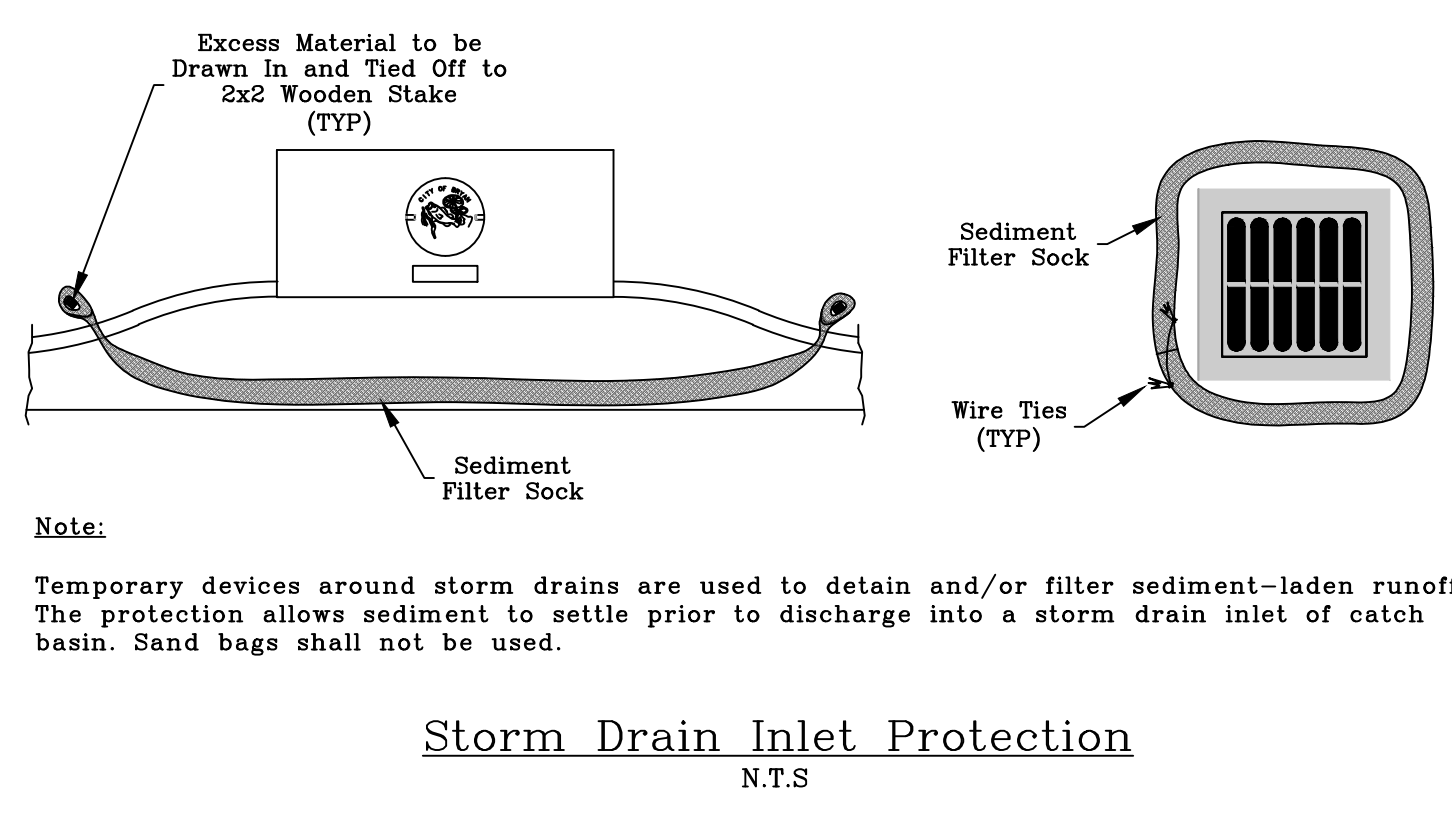
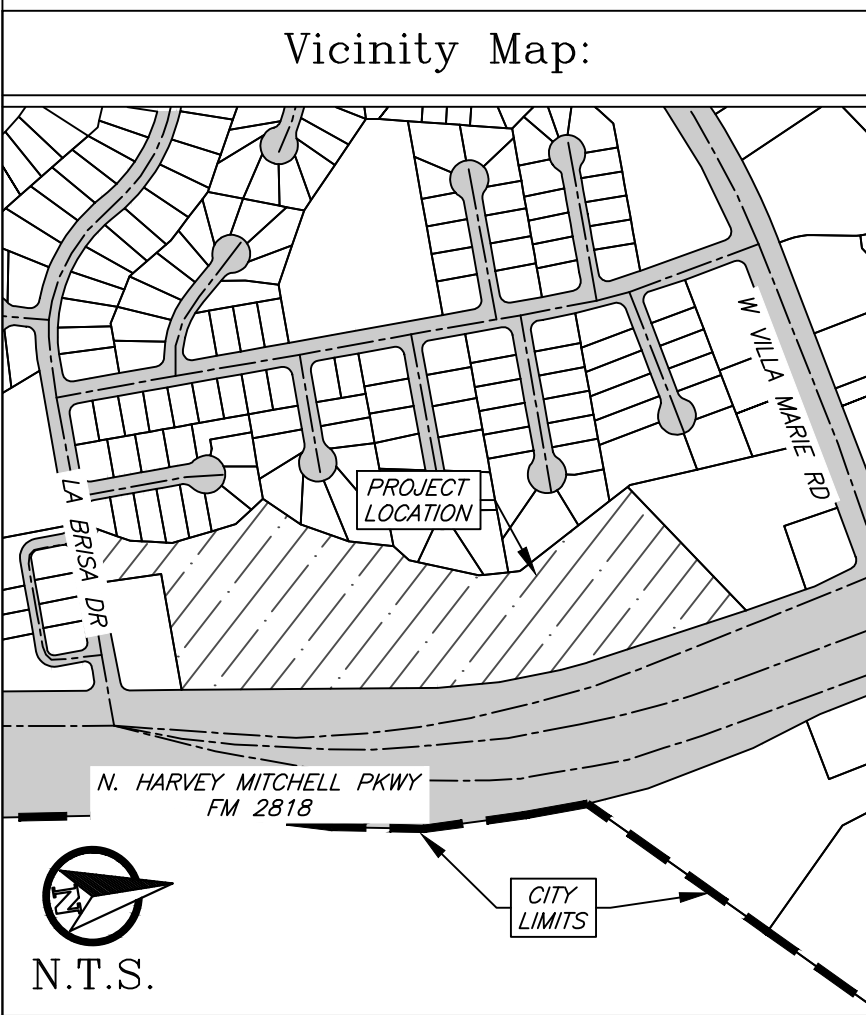
The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

Contact Information:

Texas One Call:	800-245-4545
Lone Star One Call:	800-689-8344
Texas Excavation Safety:	800-344-8377
System (Digtest):	
COB Water Services:	979-209-5900
Bryan Texas Utilities:	979-821-5865
Atmos Energy:	979-774-2506
Verizon:	979-821-4300
Suddenlink:	979-846-2229

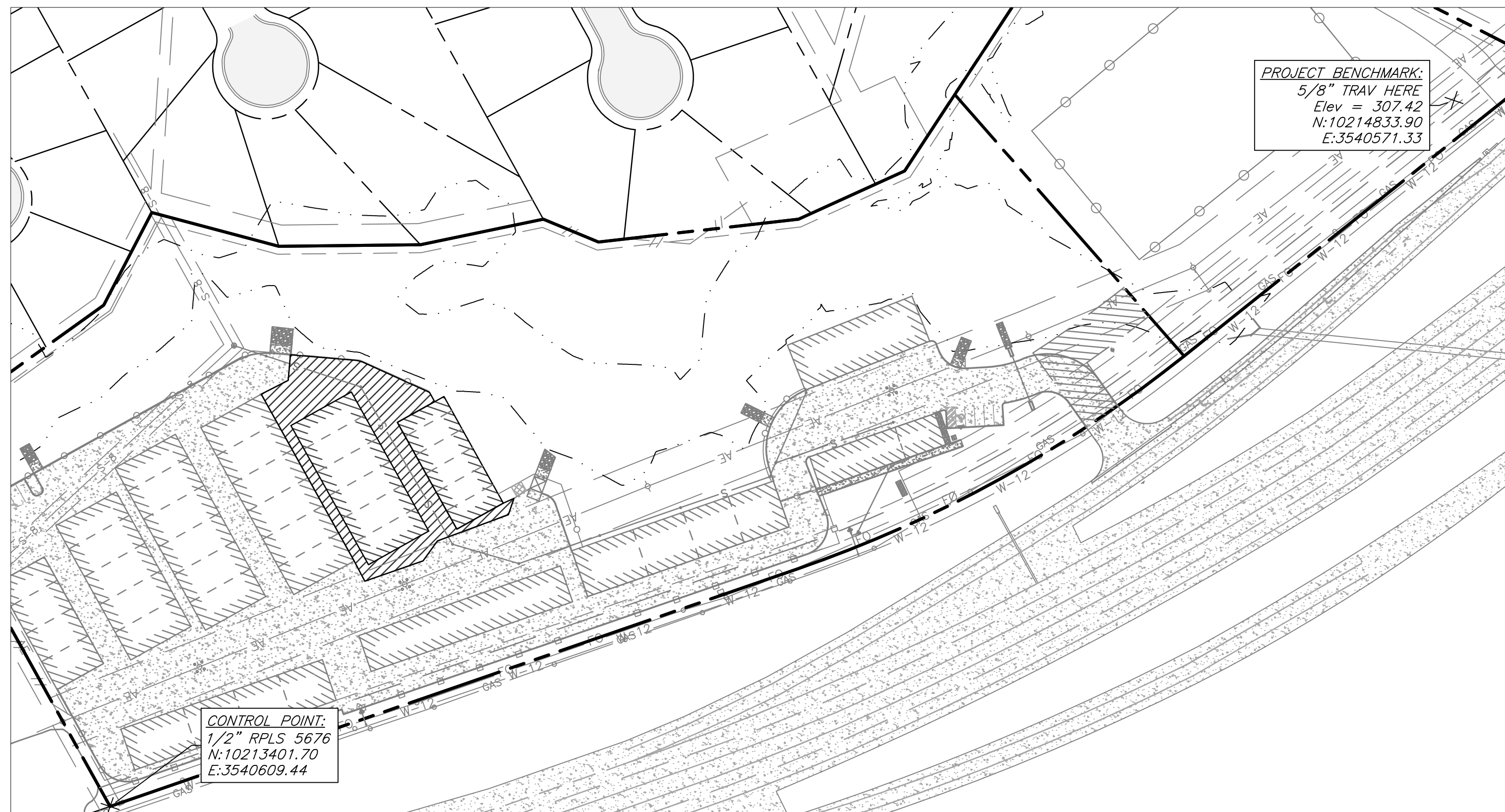
Site Specific Notes:

- The owner & developer of the property is Morning Star Storage. The subject property is 13.121 AC of the Zeno Phillips League A-45.
- The proposed building additions, totaling 15,596 sf, are single-story Type IIB without sprinklers, Height = 9'-6".
- Fire flow hydrant demand is 2,250 gpm. The existing hydrants on the property will provide the hydrant flow for this project.
- This lot is not within the 100-yr floodplain according to the DPFIRM for Brazos County, Texas and Incorporated Areas, Map No. 48041C0195F, effective July 7, 2014.
- The Property is currently zoned Retail District (C-2) approved by the Bryan City Council on April 14, 2020 with Ordinance No. 2415.
- The City of Bryan Planning and Zoning Commission approved Conditional Use Permit case no. CU20-01 on August 29, 2020 to allow the construction of a self-storage facility subject to the following conditions: a site plan fulfilling all the technical requirements for development of a self-storage facility on the subject property shall be approved by City of Bryan's Site Development Review Committee (SDRC), before any building permits are issued, the total area of disturbance shall not exceed 4.50 acres, and no trailer or truck rental shall be allowed on the subject property.
- The disturbed area for this project is 0.65 acres (28,300 sf).
- All minimum building setbacks shall be in accordance with the City of Bryan Code of Ordinances.

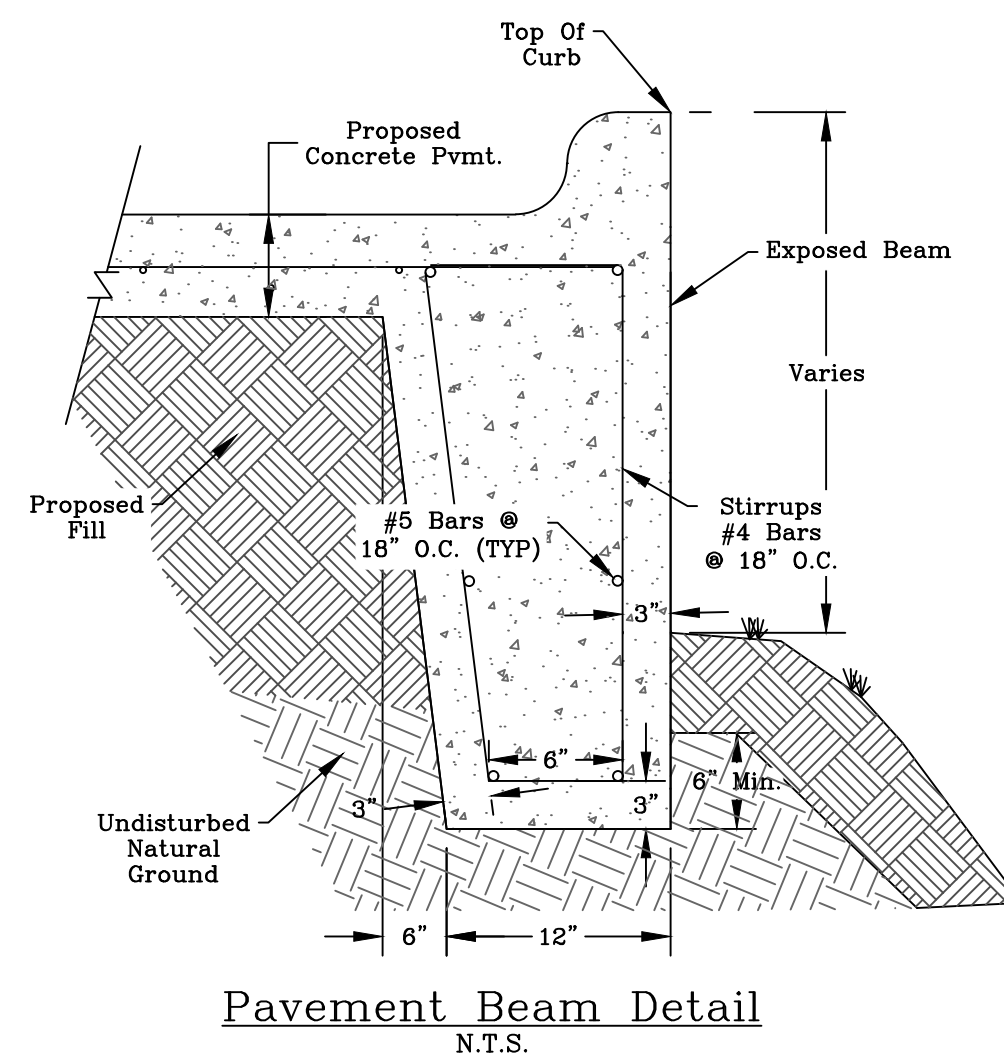


J4E Project # 24-066
Brazos MorningStarStorage No 5 - Site Plan.dwg
3/14/2025
J4 Engineering

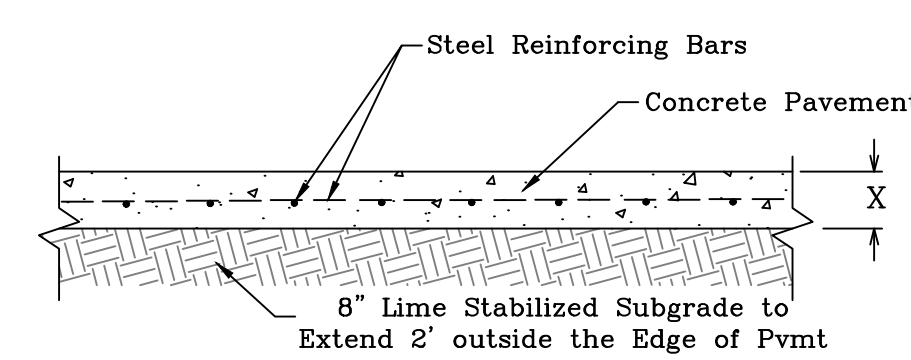
Legend		Subgrade Stabilization Table:	
	Existing Concrete Pavement	PI = Plasticity Index	LL = Liquid Limit
	Proposed 6" Concrete Pavement	If PI >20 and LL <35, Then Lime Stabilize Subgrade	
		If PI >15 and LL >36, Then Lime Stabilize Subgrade	
		If PI <5, Then Cement Stabilize Subgrade	
		Acceptable soils other than those defined by the limits above, do not require stabilization.	
		PI	% Required
		<5	5%
		<25	5%
		26-33	6%
		34-40	7%
		>40	Determined by ASTM C977
			Material
			Cement
			Lime
			Lime
			Lime



Project Benchmark Exhibit
N.T.S.

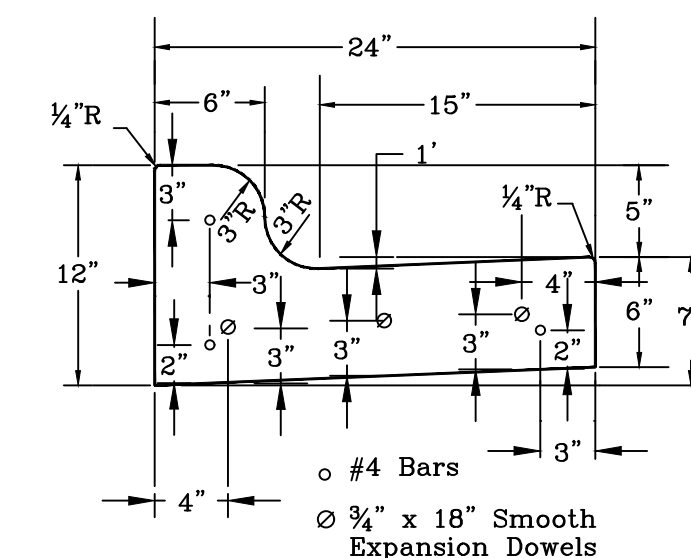


Pavement Beam Detail
N.T.S.

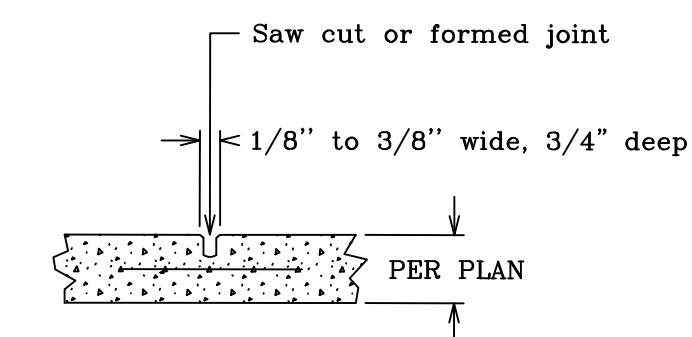


- X= as Shown on the Plan.
- 6" Pavement - use #4 rebar @ 12" O.C.E.W.

Typical Concrete Paving Section
N.T.S.

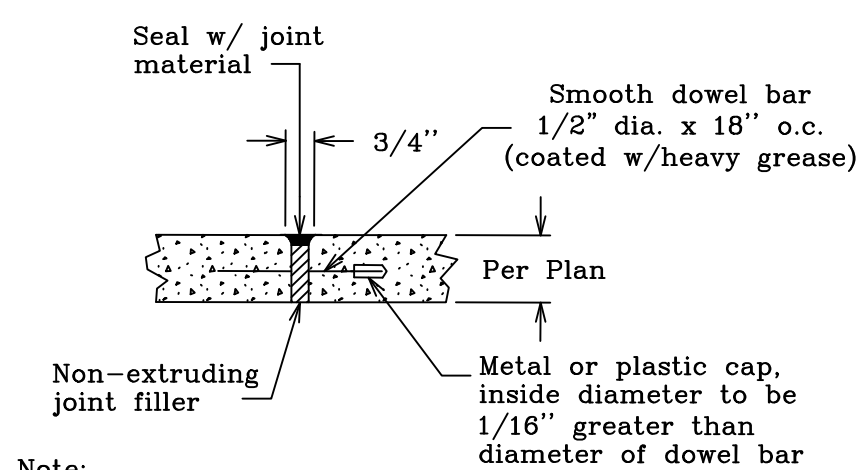


Driveway Raised Curb Detail
N.T.S.



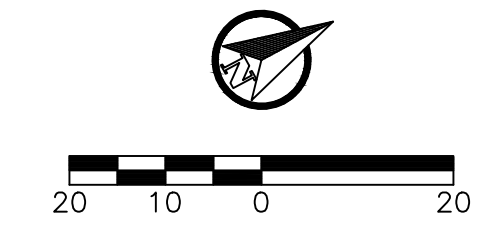
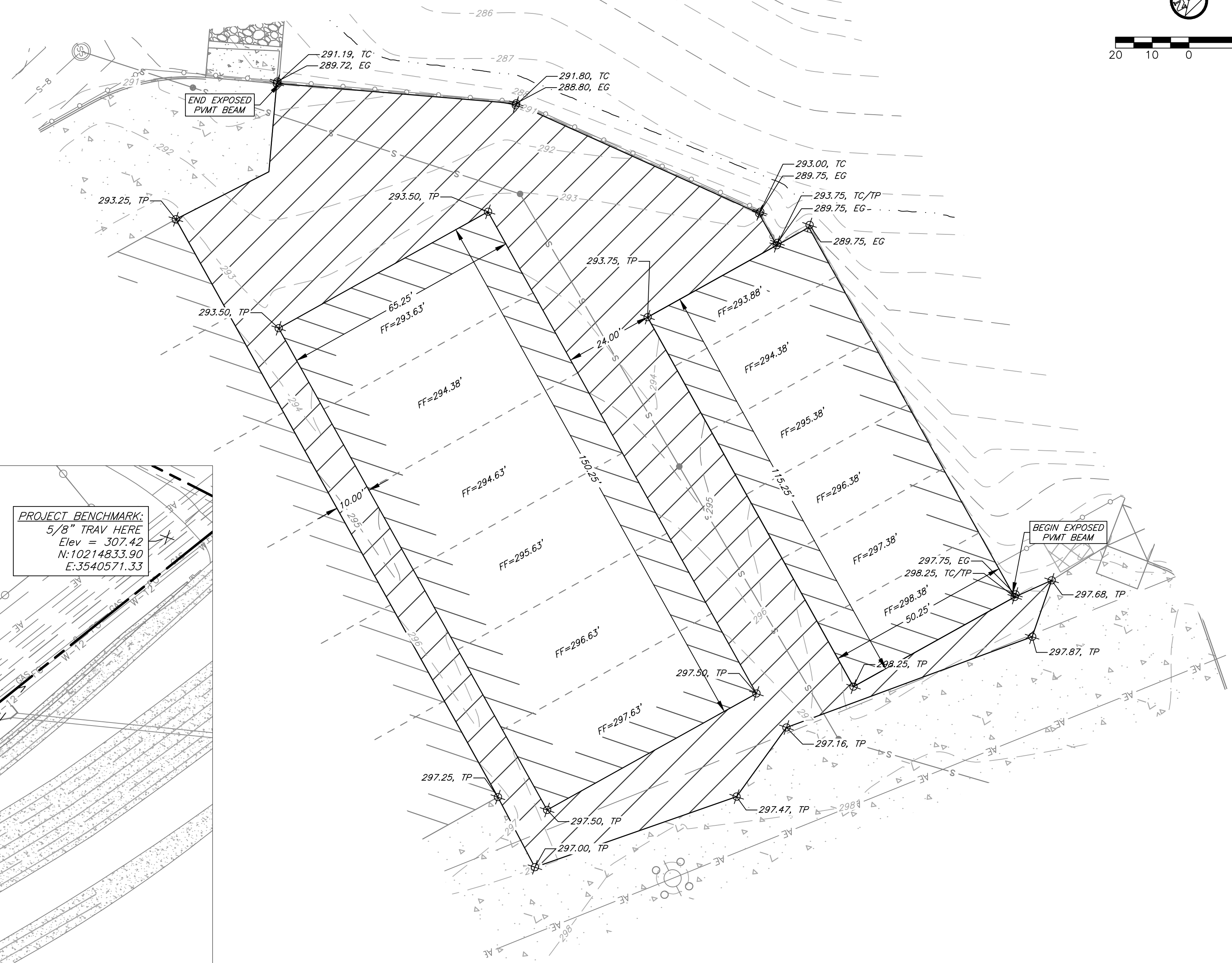
- Note:
- Contraction joints shall be spaced at 15' maximum intervals.

PVTM Contraction Joint Detail
N.T.S.



- Note:
- Expansion joint sealant to be Sonoborn SL-1 or approved equal.
 - Expansion joints shall be spaced at 45' maximum intervals.

PVTM Expansion Joint Detail
N.T.S.



Pavement and Grading Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- It is the intent of these plans to comply with all City of Bryan guidelines, details & specifications.
- See Sheet C1 - General Notes.

- FF - Finished Floor
- FL - Flow Line
- NG - Natural Ground
- TC - Top of Curb
- TP - Top of Pavement
- TR - Top of Wall
- TW - Top of Sidewalk

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Date: March 2025	Sheet:
Scale: As Noted	C3

J4 Engineering 3/14/2025 Brazos Mapping&Storage No 5 - Site Plan.dwg J4E Project # 24-066